



Development Services

Monthly Review Report

September 2020

Executive Summary

DEVELOPMENT SERVICES

This report is for Development Services for September 2020. Some highlights from this period are as follows:

- Work on the concept master plan for the Northern Beaches Community Hub continued in September. The master plan will support the development of the centrally located community hub on land between Rosewood Drive and Eimeo Road at Rural View, with a view to providing a range of community facilities to support the Northern Beaches now and in the future. The master plan will allow for the staged development of the site over a number of years. Infrastructure concept options for the site are also progressing.
- The preliminary design of Bluewater Quay improvements is underway as part of the Mackay Waterfront Project. The intention is to improve the area from a functionality, safety and amenity perspective, while capitalising on the Pioneer River to activate the area.
- Self-guided activities and walks at the Mackay Region Botanic Gardens have proven to be extremely popular over the September school holiday period. Over 200 self-guided activities were completed during the school holidays, and the addition of activities for children along the self-guided walk trails was positively received.
- The revised Building Improvement Rebate was launched during September, replacing the superseded Mackay Pride and City Centre Schemes. The Building Improvement Rebate will assist property and business owners as well as real estate agents and property managers to facilitate and support the revitalisation of commercial facades throughout the whole of the Mackay region.
- September was a record month for the Sarina Sugar Shed, achieving in excess of \$100,000 in revenue for what is believed to be the first time in the facility's history. This achievement was supported by the start of the September school holiday period and the release of the limited-edition Spring Nice on Ice (NOI) range, featuring Strawberry NOI and Lychee NOI.



Aletta Nugent
Director Development Services

Rumble on the Reef – Sponsored by the Invest Mackay Events and Conference Attraction Program



Development News 09/2020

Updates on Significant Developments Currently Being Assessed by Council

APPLICATION LODGED

DA-2020-147

13 Eaglemount Road ANDERGROVE

The application proposes the creation of 10 residential lots from one existing lot. The site is the location of the former 'Calligans Nursery'. The development comprises 7 community titles lots (and 'common property' driveway) and 3 standard freehold lots. The development is proposed over three stages.



APPLICATION LODGED

OW-2020-37

Lot 956 Morehead Drive RURAL VIEW

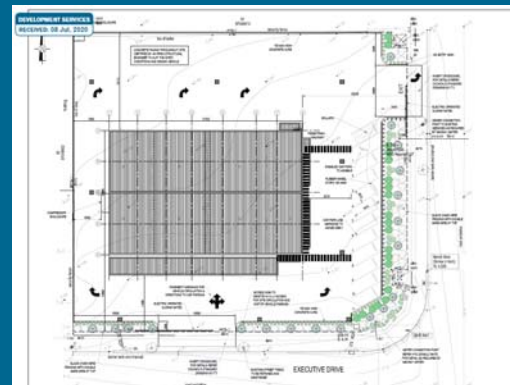
The Operational Works application is for civil works for Stage 13 of Premier Gardens Estate comprising 42 residential lots. The proposed works include roadwork, stormwater, water and sewerage infrastructure, drainage work, earthworks and landscaping.

APPLICATION APPROVED

DA-2020-99

66-68 Dozer Drive PAGET

The approval allows for the establishment of a premises for Truck and Heavy Vehicle Maintenance and Repairs (Medium Impact Industry) on land at the corner of Dozer and Executive Drives in Paget.

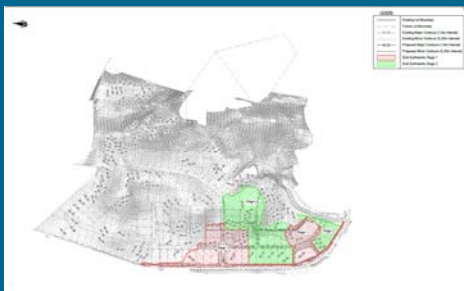


APPLICATION APPROVED

OW-2020-29

Lot 49 Sugarshed Road ERAKALA

The Operational Works approval is for bulk earthworks for the Settlers Rise Estate at Erakala.





Monthly Safety Review

Summary

Twelve incidents were reported involving MRC employees and members of the public.

The following injuries to MRC employees were reported in September:

- Upper back pain after a day spent loading green waste into truck.
- Lower back pain after mowing uneven ground.

The following asset damage incidents involving a MRC employee were reported in September:

- While mowing road reserve a mower slid down a small bank and tipped onto its side.
- Two instances where a mower struck a fence whilst mowing in a confined area resulting in damage to fence palings.
- A reversing truck and trailer struck an electricity pillar.
- A truck struck a bollard whilst turning around.
- Roof mounted aerial on a truck struck a tree branch as the truck was pulled over to stop.
- While mowing a road edge, a rock flicked up and hit passing car.
- While executing a three-point turn, truck rolled back into dirt bank damaging truck ladder.

The following near miss incident was reported in September:

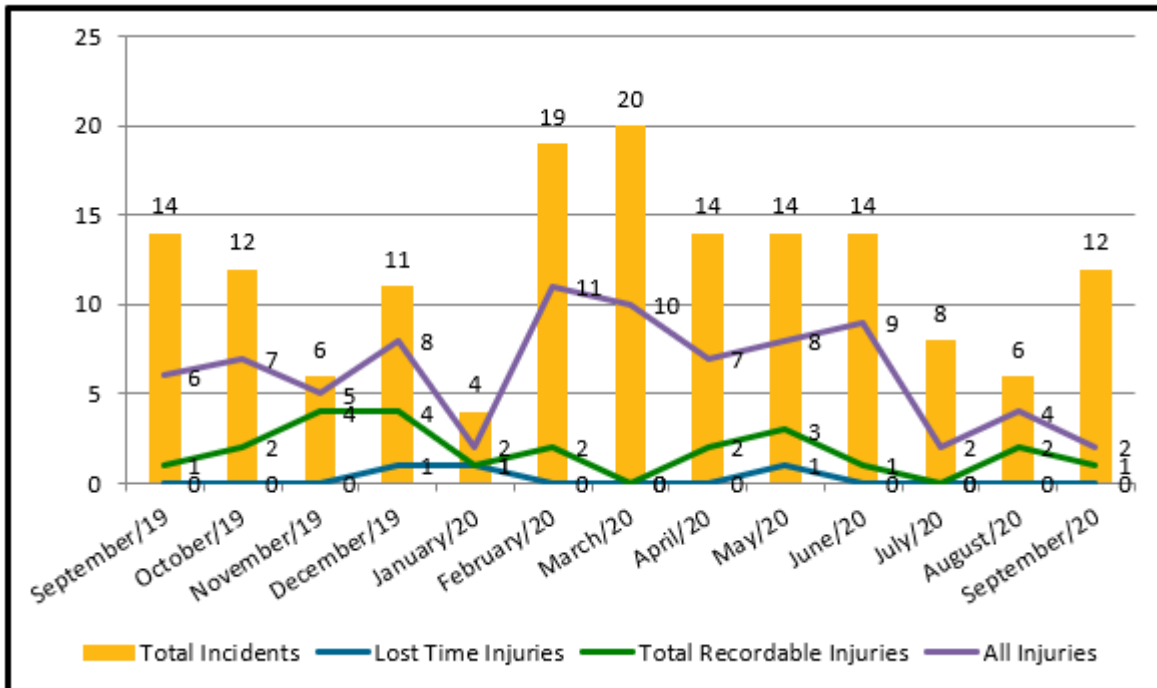
- Mower operator was approached and verbally abused by a member of the public.

The following incident involving a contractor was reported in September:

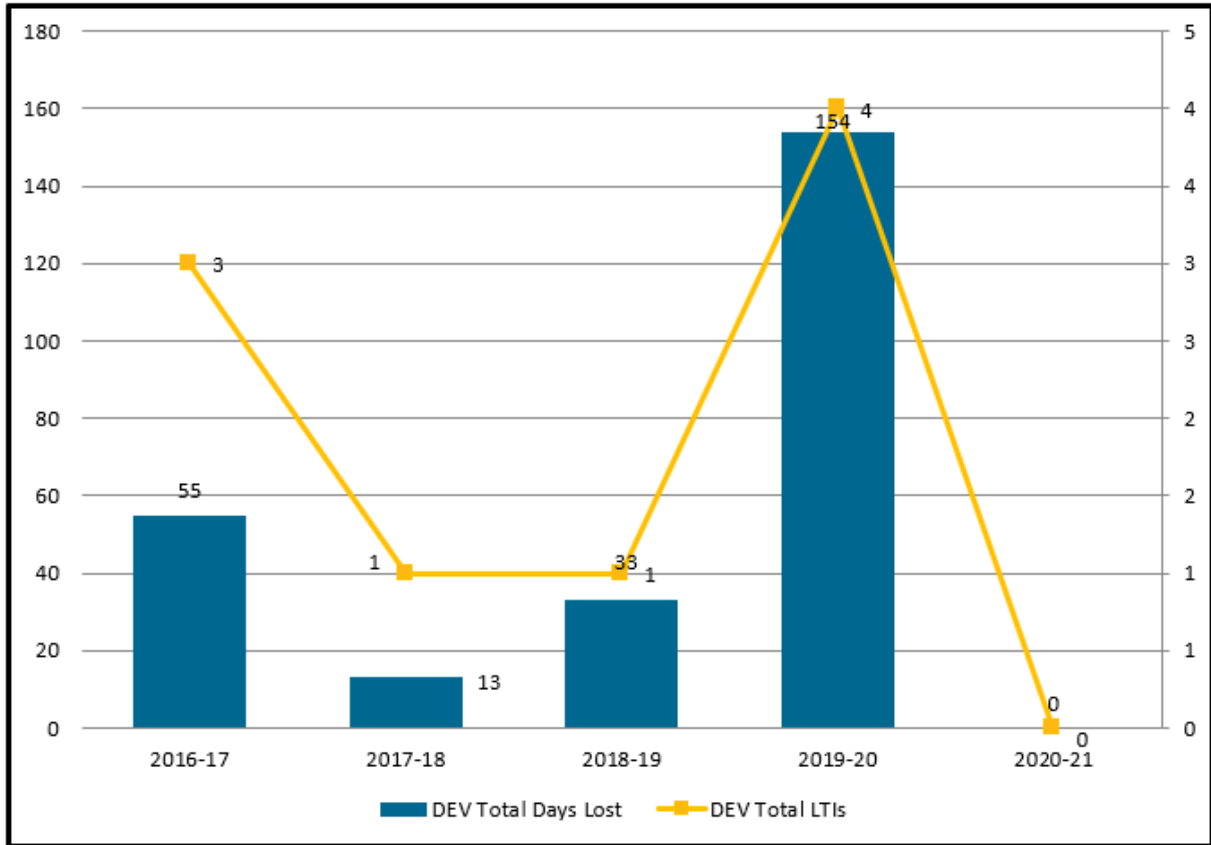
- While operating excavator, bumped old post and rail fence, cracking rail.

Each incident is investigated, and appropriate corrective measures implemented to reduce future risks.

Incidents and Injuries



Lost Time Injuries & Days Lost



For the 2020-21 year, no lost time injuries have been recorded:

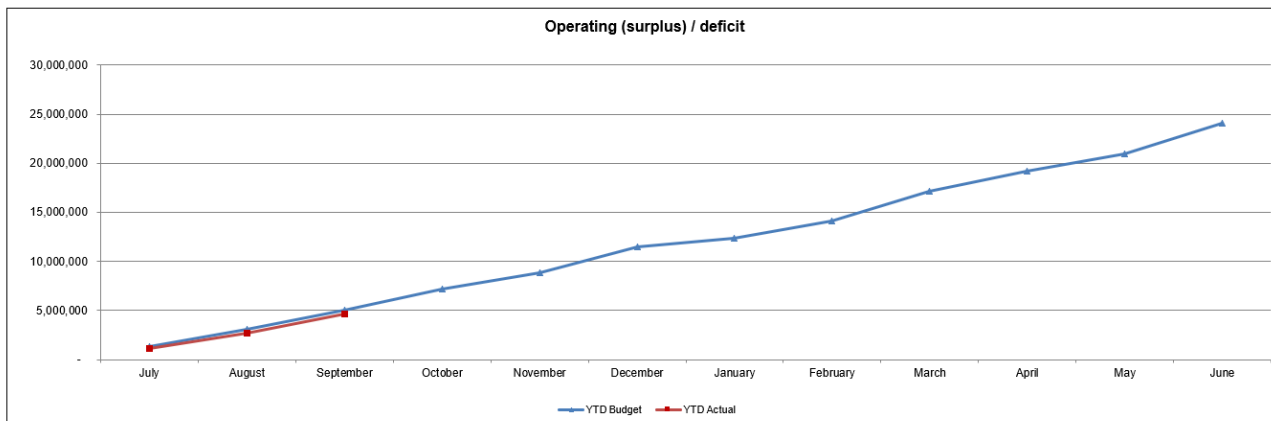
Department	2016-17		2017-18		2018-19		2019-20		2020-21	
	LTI	Days Lost	LTI	Days Lost	LTI	Days Lost	LTI	Days Lost	LTI	Days Lost
Development Engineering	0	0	0	0	0	0	0	0	0	0
Development Assessment	0	0	0	0	0	0	0	0	0	0
Parks, Environment & Sustainability	3	55	1	13	1	33	4	154	0	0
Strategic Planning	0	0	0	0	0	0	0	0	0	0
Economic Development & Tourism	0	0	0	0	0	0	0	0	0	0
Development Services Total	3	55	1	13	1	33	4	154	0	0

Financial Report

The Development Services budget is tracking well. Strong operational works application numbers and construction activity continues to give rise to a positive variance for the Development Engineering Program budget. The positive variance for the Parks, Environment and Sustainability Program budget is largely due to a number of vacant positions within the Program.

Operating Results	YTD budget	YTD actual	Variance	Status
Development Services Management	171,128	164,371	(6,757)	🟢
Strategic Planning	438,782	419,334	(19,448)	🟢
Development Assessment	(39,838)	(39,167)	671	🟡
Development Engineering	9,898	(107,381)	(117,278)	🟢
Economic Development & Tourism	664,596	631,505	(33,091)	🟢
Parks, Environment & Sustainability	3,754,627	3,551,821	(202,801)	🟢
TOTAL OPERATIONAL	4,999,193	4,620,489	(378,705)	🟢
Legend	🟢 YTD Variance favourable of budget 🟡 YTD Variance unfavourable, between 0% and 5% of YTD Budget 🟠 YTD Variance unfavourable, more than 5% of YTD Budget			

Operating Results

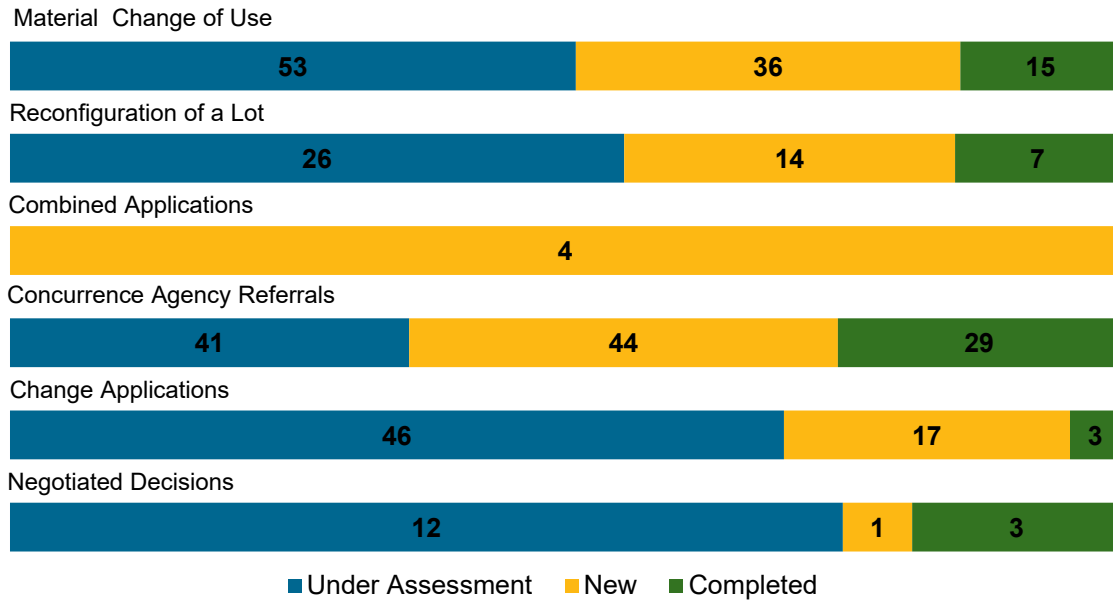


Review of Operations

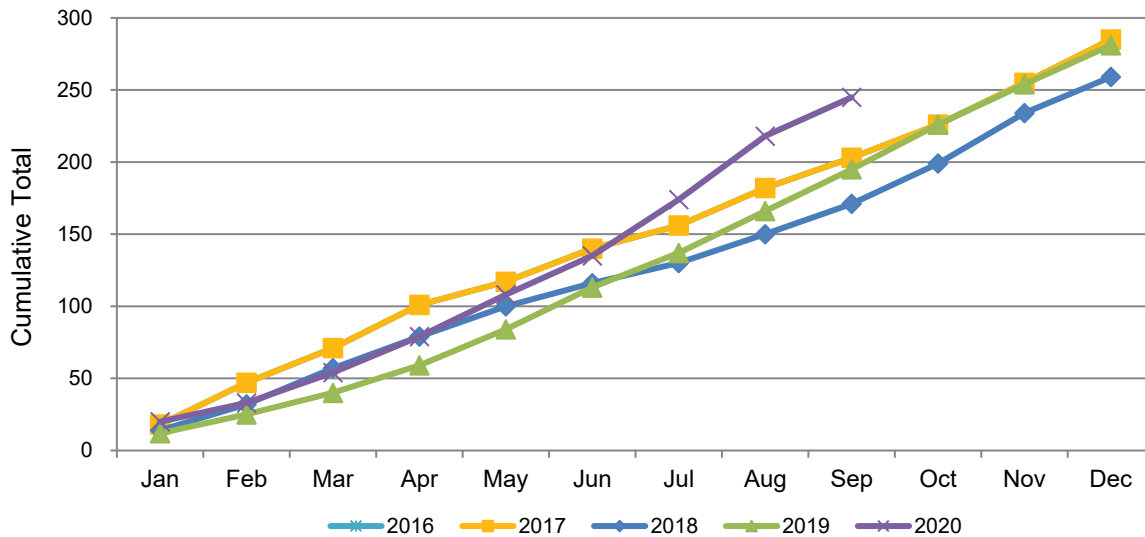
- On Track
- Potential Issue
- Definite Issue

DEVELOPMENT ASSESSMENT

Volume of Operations



Cumulative Number of Approved Development Assessment Applications

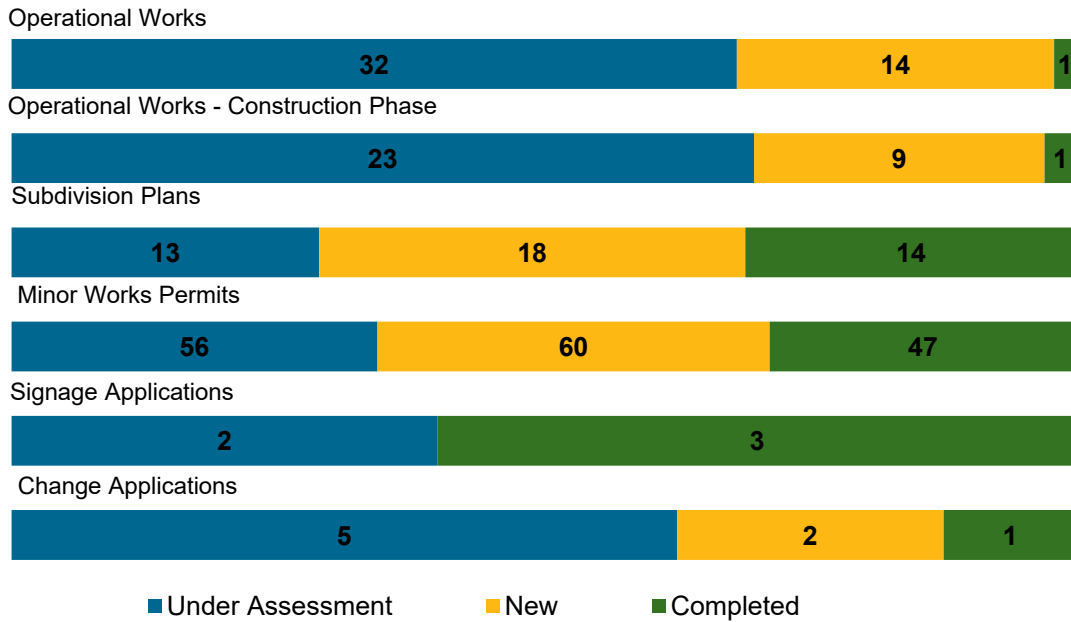


Development Assessment Performance Against Legislative Timeframes

Application	Status	% Decided
MCU Code (85% in 35 Days)	●	93% decided in 35 days.
MCU Impact (50% in 35 Days)	●	100% decided in 35 days.
ROL (85% in 35 Days)	●	85% decided in 35 days.
Concurrence Agency (85% in 10 Days)	●	100% decided in 10 days.

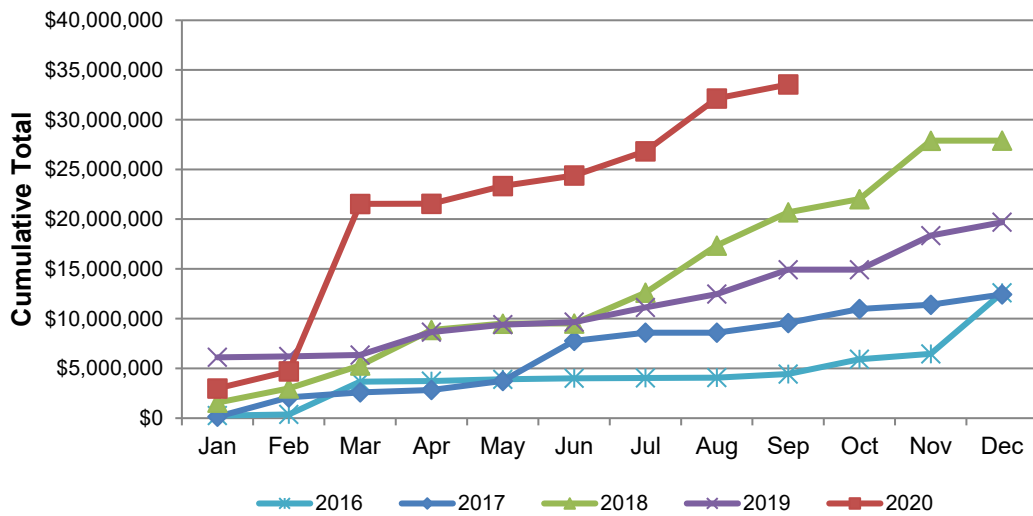
DEVELOPMENT ENGINEERING

Volume of Operations



Cumulative Value of Approved Operational Works

One Operational Works application was approved in September with a total value of works of \$1,418,896.



Development Engineering Performance Against Legislative Timeframes

Application	Status	% Decided
Minor Works (85% in <20 Days)	☀	65% decided in 20 days. Delays in several applications due to volume of applications received and level of other construction activity.
Signage Applications (85% in <20 Days)	☀	33% decided in 20 days. One application required response from applicant for several months and was unable to be decided. One application required input from DTMR and was delayed.
Operational Works (85% in 35 Days)	☀	100% decided in 35 days.
Plan Sealing (85% decided in 20 days without action notice)	☀	100% decided in 20 days without action notice.




STRATEGIC PLANNING

Regional and Local Area Planning		
Projects	Status	Description / Update of Project
Mackay Region Industrial Land Provision Study	*	<p>Council engaged a consultant to prepare an Independent Report on Industrial Land Supply in the Mackay Region. A report will be presented to Council in October.</p> <p>Council is finalising a longer-term study on industrial land supply in the Mackay region, which includes investigating high level development options for the six industry investigation precincts and monitoring of industrial land take up. Reports on the investigation precincts are being finalised in 2020.</p>
Mackay Region Planning Scheme – Minor amendment 4 and Administrative amendment 7	*	<p>Minor amendment 4 includes the amendment of the Flood and Coastal hazards overlay map of the planning scheme to include two flood studies adopted by Council in February 2020 (Sandy Creek Catchment Flood Study and the Rocky Dam Creek Catchment Flood Study) and improves references to planning scheme policies. Administrative amendment 7 includes proposed amendments to support the minor amendment.</p> <p>The proposed minor and administrative amendment will be presented to council in October for adoption.</p>
Mackay Region Planning Scheme – Major amendment 2	*	<p>Council has resolved to endorse the proposed major amendment to the planning scheme and provide a notice to the Minister for Infrastructure and Planning notifying of these actions and to commence a state interest review of the proposed amendment. The purpose and general effect of the proposed amendment is to update and improve various parts of the planning scheme:</p> <ul style="list-style-type: none"> • as a result of new information and studies; • in response to a number of workability matters identified since the planning scheme commenced in 2017; • to reflect completed development approvals; and • to improve clarity, remove redundant wording and improve alignment with the <i>Planning Act 2016</i>. <p>The state interest review period will continue until early 2021, followed by public consultation when the State review has been completed.</p>
Mackay Region Planning Scheme – Planning Scheme Policy (PSP) review	*	<p>The review of PSP content continues to progress through a governance process involving relevant internal programs. Informal consultation with Council's Engineering Reference Group on the first round of PSPs have been completed.</p> <p>The first round of amendments include the following PSPs:</p> <ul style="list-style-type: none"> • PSP - Water and sewerage (CTM Water Alliance) • PSP - Stormwater drainage design • PSP - Landscape • PSP - Open Space <p>Formal consultation has now concluded, and a report will be presented to Council to consider adoption of these policies and supporting documents in October.</p> <p>The review of the second round of PSPs has commenced. Review of the third and final round of PSPs will commence in late 2020.</p>

Finch Hatton and Eungella local area planning	●	Strategic Planning has prepared a scope to establish a local planning framework for the Finch Hatton township to support the implementation of the mountain bike strategy. Initial stages of work on the project has commenced.
Rural and rural residential review and review of Tradeable development rights (TDR) policy	●	Proposed amendments to the TDR policy are being considered and will be subject to targeted consultation in October 2020, with the finalisation of the amended policy by December.
Mirani Community Precinct Master Plan and Concept Design	●	Initial concept drawings for the proposed Mirani Community Precinct is progressing with investigations now focusing on discussing user operational requirements with stakeholders. Preliminary designs will be informed by these investigations, balancing costings and level of service required. A tree condition report is being prepared, investigations into the relocation of the Victoria Street dump point are underway and a review of the contaminated land register listing has commenced. Implementing the proposed community precinct is subject to external grant funding.
Northern Beaches Community Hub	●	A concept master plan has been prepared for the 3.7 hectare site between Rosewood Drive and Eimeo Road at Rural View supported by an options report. The master plan will support the development of the centrally located community hub that will provide access to a range of community facilities for the existing and future community. Following a briefing with Councillors on the master plan in July, further work is being done to review the floor area required for the community hub building and on infrastructure options for the site. Work has also been undertaken to develop a draft terms of reference for a community reference group that can provide input into the Northern Beaches Community Hub project. Council will be briefed on the proposed reference group in October.


Transport & Infrastructure Planning		
Projects	Status	Description / Update of Project
Mackay Growth Allocation Model	●	The Mackay Growth Allocation Model allocates and maps future urban growth over a 20-year projection period based on growth scenarios. The review of the 2018 model, which was based on the published Queensland Government Population Projections, has commenced. The reviewed model will be used to inform the review of the Local Government Infrastructure Plan. Lead and lag statistics are monitored to measure growth projections against actual population movements.
Mackay Region Integrated Transport Strategy	●	Consultants are continuing to prepare the draft Mackay Region Integrated Transport Strategy for future consultation. A draft report is being prepared with consultation planned towards the end of 2020.
Transport Modelling	●	Further transport modelling will be considered as part of the Mackay Region Integrated Transport Strategy.

Stormwater		
Projects	Status	Description / Update of Project

Mackay Region Coastal and Inland Flood Hazard Adaptation Strategy (CIFHAS)		The current project stage to finalise the hazard assessments has been completed. The project will be on-going in 2020/21. Council is liaising with LGAQ on future grant funding opportunities to complete further stages of the strategy.
Mackay Floodplain Management Plan		A draft flood study and management plan has been completed and includes the identified and tested mitigation options. A third-party review of the study and plan has been completed and the reports are being updated based on these recommendations. Consultation on the plan is expected to commence in the coming months.
Flood Intelligence Plan		The Flood Intelligence Plan project commenced in late 2019 and currently includes two main projects: <ul style="list-style-type: none"> • A “pilot” flood emergency assessment and action plan; and • A Total Flood Warning system. This project has received funding from the Australian and Queensland Governments through the Far North and North Queensland Monsoon Trough Flexible Funding Grants Round One.

MACKAY CITY AND WATERFRONT

Mackay City and Waterfront		
Projects	Status	Description / Update of Project
<p>Mackay Waterfront Priority Development Area (PDA) Update</p>	<p>★</p>	<p>Council is currently prioritising preliminary design efforts on the Riverside Precinct, with design for the area between Paxton’s and the Fish Market underway to support intended construction in 2021. The demolition of the large former Seafresh shed at 6 River Street is scheduled to occur by the end of 2020 to open up river views in readiness for the upgrade. The request for tender for the demolition works was released in September. The landscaping and urban design package brief for the public realm works was also issued.</p> <p>The preliminary design of Bluewater Quay improvements is also now underway, with the intent being to improve the area from a functionality, safety and amenity perspective, while capitalising on the Pioneer River to activate the area. The landscaping concepts have now been completed, with 90% of the engineering concepts finalised as well. Cost estimates are expected to be received in early October.</p> <p>Upgrades to the intersection located at River Street and Sydney Street to improve pedestrian and cycling safety along the Bluewater Trail is in the detailed design phase. Council is working closely with the Department of Transport and Main Roads on the project.</p> <p>Council continues to engage with property owners and investors in relation to development opportunities within the PDA.</p> <p>Council endorsed an Expression of Interest (EOI) process for development opportunities on Council owned freehold land in the project area. There were six sites offered for consideration, including three in the Mackay City Centre Precinct and three in the Riverside Precinct. Council is currently focusing upgrades to public realm and complementary placemaking activations in close vicinity to these sites. Submissions closed on 18 August and there was a good balance of quality applications across the sites. Council is pleased by the number of EOIs that have been received. There will be a confidential report presented to Council in October with recommendations.</p> <p>Council recently partnered with Neighbourlytics as part of their ‘Launch City’ tailored six-month program to help Council measure, benchmark and adopt a data-driven approach to citizen well-being. Neighbourlytics is a digital platform dedicated to measuring the quality of life and wellbeing in neighbourhoods based on their unique data footprint and is being used by a number of Councils across Australia. This project has now commenced and Mackay City and Waterfront team has established an internal working group for the project. The working group has collaborated to identify 50 1km radius areas of interest within the region that specific data will be collated for analysis. The whole region base line report has been delayed and is now expected to be presented in October.</p> <p>On 10 September the PDA Advisory Committee (PDAAC) met to provide input and advice to Council in relation to the Mackay Waterfront project.</p>

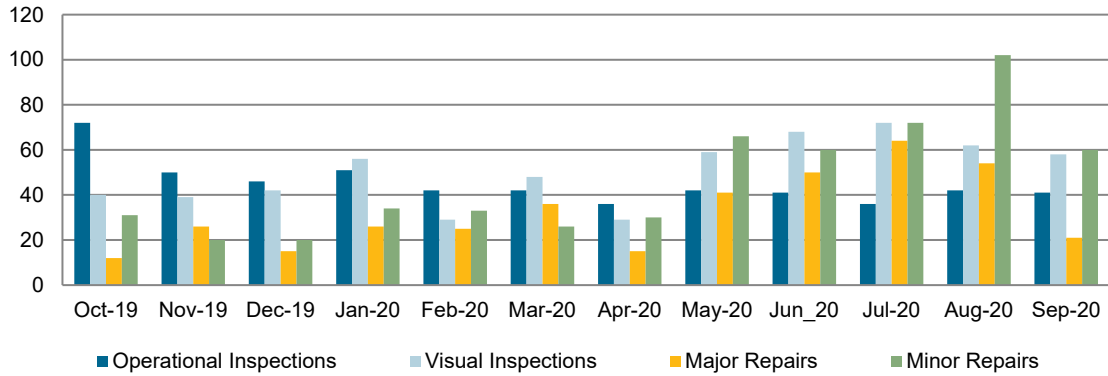
Activate Mackay City Centre		<p>Fifth Lane resurfacing works Design of the Fifth Lane resurfacing works is underway and consultation with neighbouring properties has commenced to ensure opportunities and constraints are well considered. Construction of the resurfacing works is scheduled to occur this financial year.</p> <p>City Centre Reference Group Council is working with the Mackay Region Chamber of Commerce on the establishment of a City Centre Reference Group. The first meeting with Chamber of Commerce and City Centre business representatives in attendance was held at the end of June, with meetings now being held monthly to discuss activities to promote and support the City Centre.</p>
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e-Statistics

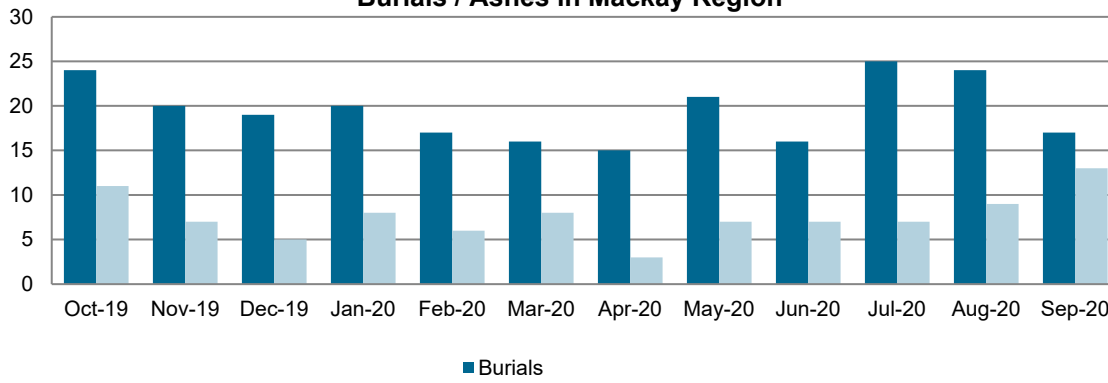
Subscribers	Mar 20	Apr 20	May 20	June 20	July 20	Aug 20	Sep 20
City Centre Facebook Likes	6,405	6,455	6,453	6,448	6,447	6,456	6,458
City Centre Instagram Followers	1,375	1,390	1,403	1,415	1,415	1,423	1,440
City Centre Wi-Fi Sessions	718 users	287 users	300 users	375 users	Not available	331 users	635 users
	6,360 sessions	1,500 sessions	1,913 sessions	2,195 sessions	Not available	2,009 sessions	4010 sessions

PARKS, ENVIRONMENT & SUSTAINABILITY

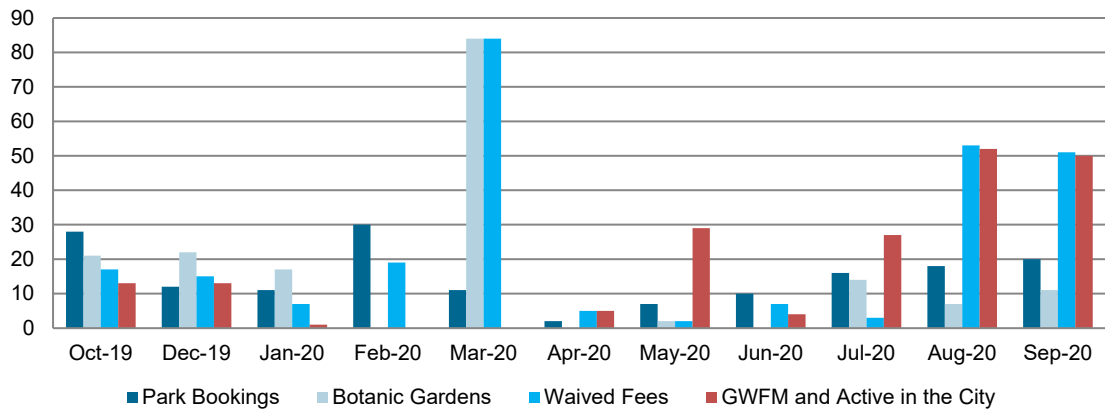
Play Equipment Inspection and Maintenance



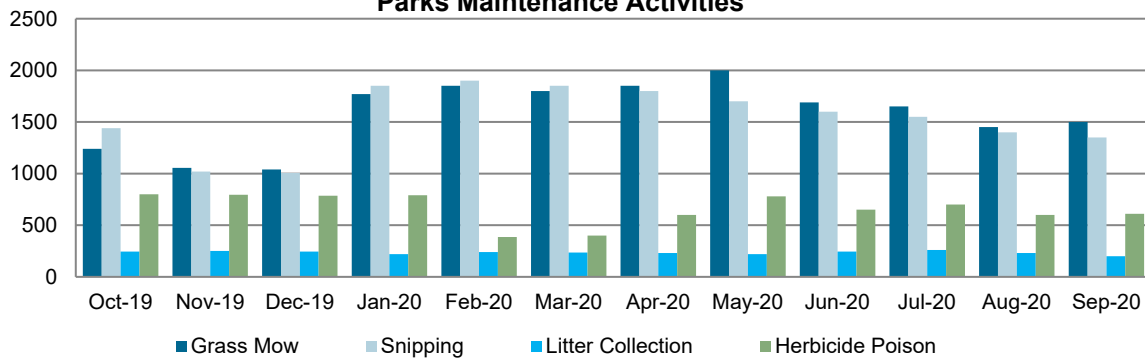
Burials / Ashes in Mackay Region



Park Bookings






Parks Maintenance Activities



Capital Works Projects		
Project	Status	Description / Update of Project
Works for Queensland COVID19 Funding	●	<p>Works have commenced on the Grasree Beach basketball court refurbishment. To date, installation of a new asphalt surface to the court has been completed. Additional works currently underway include a new goal post, backboard and hoop, line marking and replacement of several picnic settings.</p> <p>Other works to be included in this project involve minor play equipment replacements at Seaview Park Bucasia, Caneland Park, Illawong Beach and John Breen Parks. Components for these have been ordered. Components have also been ordered for repairs to shade structures at Botanic Gardens, Col Story Park and James Muscat Park.</p>
Queens Park Revitalisation	●	<p>Contractors are working through the remaining defects from the construction and landscaping.</p> <p>Visitor numbers throughout the park have been consistently high with many people enjoying the new pathway network and the revitalised Orchid House.</p>
Permanent Shade Shelters		The project to retrofit picnic shelters within parks at Shoal Point and Blacks Beach has been completed and shelters opened to the public. Additional design work is underway for the shelters at Eimeo Foreshore Park following community consultation.
Brookfield Park Sarina Beach Basketball Court	●	Complete and now open to the public.
Botanic Gardens Footpath linking Alexandra Street to Meadowlands	●	Construction completed. Defects list being addressed. Footpath is open and being well used by the public.

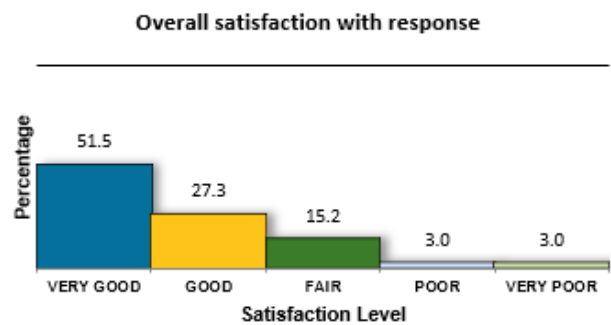
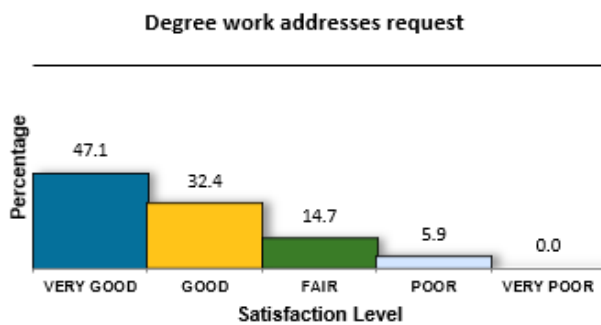
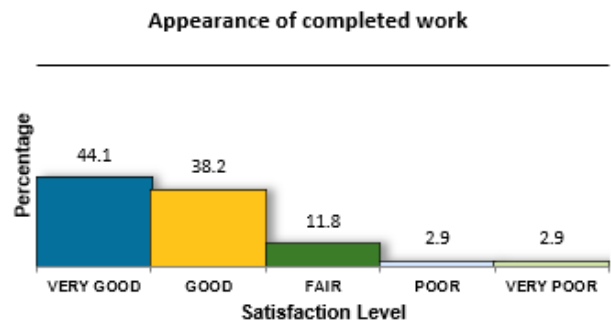
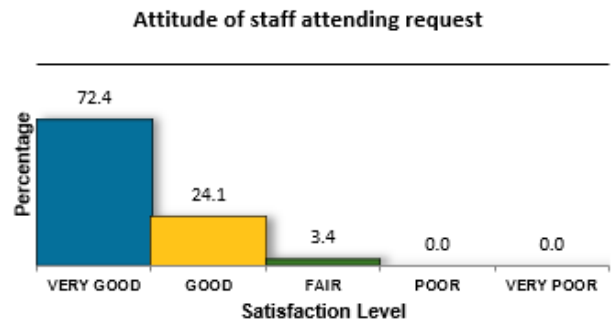
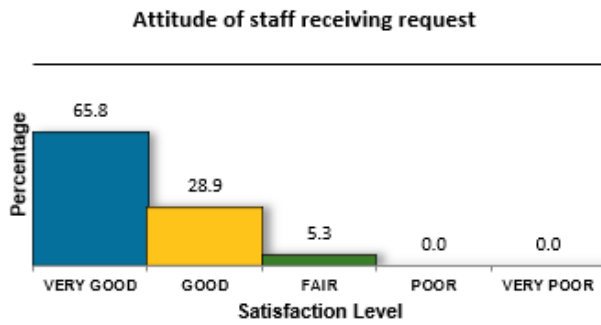
Botanic Gardens Projects		
Project	Status	Description / Update of Project
Christmas in the Gardens	●	Due to COVID19 restrictions the traditional event will not be held in 2020. Instead consideration is being given to the hosting of an alternate "12 days of Christmas" event which will take place in the lead up to Christmas. This event will be spread out throughout the Botanic Gardens and include music, craft activities, self-guided walks, treasure hunts and a variety of food stalls.
Desilting Trial Project	●	<p>The desilting trial aims to find a solution to create a usable product out of the silt which needs to be removed from the Lagoons at the Botanic Gardens.</p> <p>The pits have been constructed and lined appropriately. Silt has been removed from the Lagoon and mixed with organic matter in the trial pits. This will now be monitored over the coming months and leachate removed for testing of pollutants.</p>
Lagoon Weed Management	●	An aquatic weed harvester has completed work on Eulamere Lagoon. A large amount of weed has been removed and there is now clear water in areas for the first time in several years. Unfortunately, due to the shallow water, access was limited to the northern end. A long reach excavator will be used to clear the remaining weed. Herbicide application is continuing in conjunction with this activity to manage isolated clumps.
Self-guided activities	●	School holiday activities continue to be a great success, over 200 self-guided activities were completed in the September school holidays.

Self-guided walks		Self-guided walks have been popular over the school holidays with plenty of positive feedback regarding the addition of children’s activities along the self-guided walk trails.
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Natural Environment Projects		
Project	Status	Description / Update of Project
Vegetation Management Training		Staff attended training run by the Department of Natural Resources Mines and Energy on regulatory requirements for vegetation clearing.
Local Marine Advisory Committee		A meeting of the Local Marine Advisory Committee was held in September. A wide variety of projects occurring in our region that have a positive impact on the Great Barrier Reef were discussed. Council received positive feedback on its work relating to the Recreational Fishing Strategy and Water Sensitive Urban Design infrastructure and management.

Requests for Maintenance Work

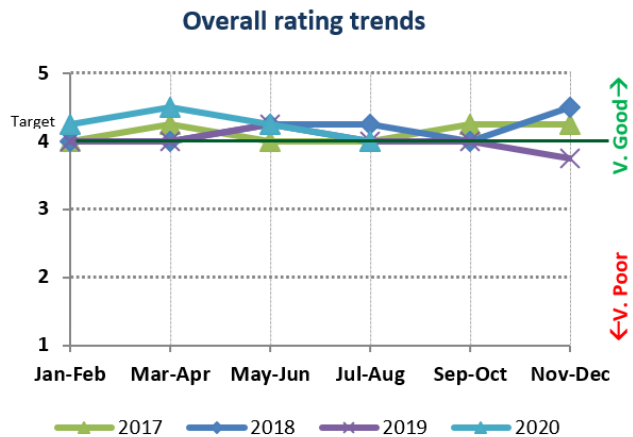
Results of Customer Survey July/August 2020






Representative Comments

- Excellent.
- Left very tidy.
- Well done.
- A job that I am extremely happy with. It was an eyesore – now redeemed.
- Very good, done very quickly.
- Should be done right the first time.
- Feedback received stated the works proposed are to be addressed in future planned upgrades. I am happy with this response. The experience on the whole was positive – I was able to lodge a concern and feel assured that the relevant department will act appropriately on the information.
- Very prompt.

Trends




ECONOMIC DEVELOPMENT & TOURISM

Events and Tourism		
To develop the Mackay region as a leading regional tourism and events destination through the implementation of the Mackay Region Event Strategy 2020-2025 and Destination Tourism Plan 2017-2022.		
Business Priority	Status	Action
Regional Events Strategy Implementation - Refine and develop the structures, framework and tools within Council to best support and progress new events.		Economic Development in partnership with the MECC has drafted a scope of works to engage the professional services required to capture, quantify and evaluate the economic, social and environmental impacts of identified events held across the Mackay region. It is anticipated a request for quote will go out in October 2020 and a supply arrangement is expected to be finalised in late 2020. Council officers have commenced an internal audit of Council's resources being utilised for event delivery, promotion, sponsorship and grants as well as regulation and customer liaison. This review will focus on: <ul style="list-style-type: none"> • The whole of Council spend on events and staff resourcing. • Resourcing required to further assist event organisers with their events. • A review of alternative models and structures for improved efficiencies and customer service.
Regional Events Strategy Implementation - Create the correct environment for event success and sustainability via supporting programs, increased awareness of Mackay as an events destination and increased leverage of event benefits for the region.		As part of the above mentioned internal audit, Council officers will investigate the potential for an increase in the scope/breadth of services offered to support event organisers, specifically via the development of the Mackay Events One-Stop-Shop and Events Concierge Service and the potential re-establishment of the Mackay Business and Events Convention Bureau. Following the 'Events The Road Ahead' Industry recovery program, Mackay Regional Council in partnership with Mackay Tourism organised a free local events update and Q&A session with a team of panellists from Mackay Tourism, Queensland Health and Mackay Regional Council to answer questions on how to organise a COVID19 safe event - including a special update from guest speakers Joanna Jordan and Krista Hauritz who have delivered successful events during COVID19. Over 25 event organisers dialled in to this session in September. Economic Development have arranged stakeholder meetings with relevant council programs and individual event organisers to ensure the event organisers are aware of the regulatory requirements (including COVID19 and general event permits) and so officers are able to guide them through the processes.
Regional Events Strategy Implementation - Develop and acquire strategic events aligned with council's vision to partner on a local, national and state level for increased opportunities.		Invest Mackay Events and Conference Attraction Program Two events were held in the month of September: <ul style="list-style-type: none"> • Little Athletics Nordic Sport North Queensland Championships • Rumble on the Reef Festival <ul style="list-style-type: none"> ○ ASF Street Skateboarding Championships ○ Moneybowl Bowl Riding Championships There was one event bid and two new events approved and endorsed through the program in September. Mackay Beach Horse Races – Expression of Interest (EOI) Council has been working in partnership with Mackay Tourism and key stakeholders on the future of the Mackay Beach Horse Races event. Stakeholders agreed to seek EOIs from professional event management firms to investigate the potential to deliver a refreshed version of the Mackay Beach Horse Races from 2021-2023. The EOI was released on 28 April 2020 and closed on 1 June 2020, with

		six EOIs received. A panel was formed in June and EOIs were assessed against the criteria. A Request for Tender was sent to the shortlisted applicants on 17 July and closed on 20 August. The panel assessed the tenders against the criteria in September and the outcome of these assessments are due to be discussed with the Invest Mackay Events and Conference Attraction Program Assessment Committee at its October meeting.
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Economic Development To encourage sustainable and diversified jobs and investment in the Mackay Region through the implementation of the Mackay Region Economic Development Strategy 2020-2025.		
Business Priority	Status	Action
Economic Development Strategy Implementation - Advocacy and Leadership through engagement with State and Commonwealth Governments to promote investment into local infrastructure as a catalyst for future economic development.		<p>During September, media statements were published on the following:</p> <ul style="list-style-type: none"> • 1/09/20 Daily Mercury – “Tripling of barra at Kinchant Dam ‘tremendous’ for anglers” • 07/09/20 Daily Mercury – “Barramundi numbers explode” • 09/09/20 Daily Mercury – “Discount on \$10m Northern Beaches shopping Centre” • 09/09/20 Daily Mercury – “New fresh fruit rum flavours to delight the tastebuds” • 11/09/20 FB Promotion – “Building Improvement Rebate” • 22/09/20 Daily Mercury – “Qld election - We want a world-class mountain bike trail” • 24/09/20 Daily Mercury – “Suns donate 1000 pairs of boots to Mackay children in need” • 25/09/20 Daily Mercury – “‘Chill’ skate competition rides through pandemic” • 28/09/20 Mackay Whitsunday Life – “Flavours of Sprint are Nice Over Ice” • 28/09/20 Mackay Whitsunday Life – “Shop front rejuvenation made easier” • 29/09/20 Daily Mercury – “Qld election Mackay wants to connect CBD with waterfront” • 30/09/20 Daily Mercury – “New islands tour is a game changer for Mackay Tourism” • 30/09/20 Twitter re Council funding for Split Spaces activities <p>Economic Development has established an internal Digital Infrastructure Working Group to review the actions identified in the Mackay, Isaac and Whitsunday Digital Infrastructure Study undertaken by Greater Whitsunday Alliance (GW3). The terms of reference for the group is currently being drafted.</p>
Economic Development Strategy Implementation - Investment Attraction activities to promote and market investment opportunities.		<p>Economic Development has commenced preparation of the Mackay Region Investment Prospectus. The prospectus will highlight key development opportunities for the Mackay region.</p> <p>Economic Development received nine individual business enquiries during September and continues to support the Mackay City and Waterfront Project team as well as external stakeholders including Mackay Tourism Ltd, UDIA, Split Spaces and Mackay Region Chamber of Commerce through the provision of information and potential investor support.</p> <p>Currently Economic Development has the following Facilitating Development in the Mackay Region Policy applications:</p> <ul style="list-style-type: none"> • One EOI received and three EOIs are currently on-hold until their development applications have progressed. • One application has progressed through the EOI assessment stage; however, a Stage 2 application has not yet been submitted.







		<ul style="list-style-type: none"> • Two Stage 2 applications have been received and are currently under assessment. • One extension has been requested. • Six EOIs have been removed from the register due to ineligibility or a lapse in timeframes for provision of Stage 2 application. <p>The annual review of the Facilitating Development in the Mackay Region Policy has commenced. A Councillor briefing was held in September and stakeholder engagement meetings have been held with the Mackay Region Chamber of Commerce and City Centre Reference Group. Further stakeholder consultation will be undertaken during October, prior to the Policy being presented to Council for consideration in November.</p>
<p>Economic Development Strategy Implementation</p> <ul style="list-style-type: none"> - Industry Development through engagement with local businesses and industry groups, providing support and assistance for growth. 	<p>•</p>	<p>The Economic Development Program is represented on the Project Advisory Group (PAG) for the MIW METS Export Hub project. Economic Development is working with the Export Hub project manager to promote identify capabilities on a digital platform.</p> <p>Economic Development coordinated a webinar showcasing the Resources Centre of Excellence. The webinar was aired on 3 September as part of the QME Webinar Series.</p> <p>Economic Development is assisting the Greater Whitsunday Food Network in the delivery of the Regional Agritourism Development Project and provides ongoing support as an ex-officio committee member. The network’s final business plan has been presented to council officers and the GWFN management committee on 20 August 2020. The network endorsed the business plan and is currently recruiting for a manager.</p> <p>The Mountain Bike Alliance met on 17 September 2020 to discuss the delivery of specific actions items from the Mountain Bike Strategy. The next meeting will be held on 22 October 2020.</p> <p>Economic Development and Community Engagement are working to develop an engagement plan for the Mountain Bike project as well as an implementation plan for business development support. On 22 September, Economic Development held a familiarisation with representatives from Rocky Trail Entertainment. The itinerary included visits to proposed trailhead sites in Eungella and Finch Hatton as well as existing tourist attractions. Feedback received from the Mountain Biking specialists regarding the proposal was positive. Economic Development in collaboration with Corporate Communications has developed project design templates to keep messaging consistent and professional. The agreed working project name is ‘Pioneer Valley Mountain Bike Trails’, pending the development of a future name for the overall trail network and individual trails.</p> <p>Economic Development, in conjunction with Mackay Tourism, continues to deliver the Recreational Fishing Strategy ‘Hooked-on Mackay’ marketing campaign which supports the promotion and awareness of the Mackay Region as a world-class fishing destination. With COVID19 restrictions slowly lifting, the Hooked-On Mackay Facebook page has increased its promotional activities. Economic Development is holding the first Recreational Fishing Strategy Steering Group meeting in November. In conjunction with Mackay Tourism and Rockhampton Regional Council, a draft scope to investigate the “Barra Highway” concept is being prepared for future consideration if funding opportunities arise. Economic Development launched the Hooked on Mackay Youtube channel on 15 September, video content will be regularly shared on the platform.</p> <p>The final Mackay Regional Camping Analysis Report has been received. The document is currently being reviewed by the relevant departments</p>

		<p>and a recommended action plan will be developed for consideration by Council.</p> <p>With Council support, Split Spaces is hosting two Entrepreneurs in Residence (EIRs) to deliver masterclasses, mentoring and other educational opportunities to help start-ups understand and develop effective business models and map pathways to global scalability. The EIRs will also facilitate introductions between start-ups, the broader innovation ecosystem and industry experts, as well as strengthen and build on the existing innovation ecosystem of the Mackay Isaac Whitsunday region. There are ten participants involved in the program, of which six completed the Start-up Onramp Pre-accelerator Program.</p> <p>The launch of the revised Building Improvement Rebate took place during September. The Building Improvement Rebate replaces the superseded Mackay Pride and City Centre Schemes and will work in partnership with property and business owners as well as real estate agents and property managers to facilitate and support the revitalisation of commercial facades throughout the whole of the Mackay region. Rebates of up to \$3000 are available to upgrade the appearance of a property, or up to \$1000 for exterior cleaning fees. To date two applications have been received with one application approved.</p> <p>Through the Activate My Place (AMP) funding, two projects are now underway:</p> <ul style="list-style-type: none"> • The Mackay Hospital Foundation proposed an Indigenous Meeting Place and Healing Garden at Mackay Base Hospital that will support and preserve Aboriginal and Torres Strait Islander language, arts, and culture within the hospital. The Mackay Hospital Foundation are progressing well with the project and are planning on having an official unveiling during NAIDOC week in November. • The Finch Hatton Progress Association will commence Stage 2 of the Finch Hatton Flood Wall by installing large sepia photographs to the already painted flood wall near the entry to the showgrounds. A local artist has sourced images from pioneering families in the immediate area showcasing various historical scenes involving the cane industry. The Finch Hatton Progress Association is gathering information on the families and is hoping to have the project in its final stages by December.
<p>Economic Development Strategy Implementation</p> <ul style="list-style-type: none"> - Workforce and Skills Development through partnerships to upskill residents and attract new workers to the region. 		<p>Initial discussions have been held with Greater Whitsunday Alliance (GW3) regarding the creation of promotional material to assist industry sectors attract workforce to the MIW region. GW3 is currently preparing a project brief and timeline for the project with the support of the Greater Whitsunday Council of Mayors.</p>

Sarina Sugar Shed

To manage and operate a sustainable tourism facility, which provides a range of tourism products and experiences to promote the region's heritage

Strategy / Project	Status	Description / Update of Project
Operate a successful tourism facility which meets its performance targets		September was a record month for the Sarina Sugar Shed, achieving in excess of \$100,000 in revenue for what is believed to be the first time in the facility's history. This achievement was supported by the start of the September school holiday period and the release of the limited edition Spring NOI range, featuring Strawberry NOI and Lychee NOI. 90 bottles of the Lychee NOI were produced and sold out within 5 days. 255 bottles of the Strawberry NOI were produced and only 30 bottles remained at the

		end of September. Increased social media activity and engagement has heightened awareness of the Sugar Shed, and there are increased enquiries for wholesale orders and deliveries (which are allowable under temporary exemptions to the liquor licence). This is likely to continue to build as new products are introduced into the market; however, production capacity is being challenged. The team of employees and volunteers continue to work hard to meet this demand and improvements to productivity and capacity will be reviewed to ensure there is the ability to continue to fulfill the demand.			
Implement the Sarina Sugar Shed Business Review 2020.		A briefing was provided to Councillors in September providing an update on the progress of the Sarina Sugar Shed Business Review 2020. Many of the short-term operational recommendations of the Business Review have been implemented, and ongoing planning has centred around the medium-term and long-term recommendations including the facility expansion and development, and a possible commercial arrangement for the distillery. It will remain business as usual for the current operation, with continuing product development and new releases, as well as ongoing enhancements to the visitor experience. Options are currently being reviewed in conjunction with the CEO and Director and a future briefing will be scheduled for further discussion with the Councillors regarding the future of the facility.			
Business Operations (excluding accruals)		Item	September	YTD	Annual Target
		Tour Visitation (Paid)	1,389	3,618	10,000
		Visitation (Total)	1,894	4,711	-
		Volunteer Hours	535.4	1,299.4	-
		Item	September	YTD	Annual Budget
		Ticket Sales	\$25,913	\$62,020	\$135,000
		Retail Sales	\$80,955	\$201,739	\$235,500
		Total Income (incl. Ticket income)	\$106,868	\$263,739	\$370,500
		Total Expenses	\$114,679	\$196,221	\$877,940

Economic Indicators (Quarterly)

Indicator	Dec 18	Mar 19	Jun 19	Sep 19	Dec 19	Mar 20	Jun 20
Employment							
Unemployment rate	3.9%	4.4%	5.8%	6.3%	6.4%	5.8%	Data not available
Employed persons	65,291	62,527	56,751	56,122	56,709	58,906	Data not available
Real Estate							
Median house sale	◦\$350,000	\$330,000	\$340,000	◦\$360,000	\$360,000	\$355,000	\$360,000
Res vacancy rate	1.7%	2.9%	1.5%	1.7%	2.5%	2.5%	1.3%
Residential Lot Supply							
Lots Approved^	108	60	18	11	53	31	Data not available
Lots Endorsed^	135	7	44	54	37	80	Data not available

*Data relates to the Mackay Local Government Area and is updated on a quarterly basis as it is received by Council. There is often a 3-6-month lag from the receipt of data for previous quarter.

^In previous reports incorrect data was reported on. This has now been corrected and the report will now contain published Queensland Government data (QLD Treasury).

◦Incorrect values reported. The values have now been corrected with REIQ published data.

e-Statistics

Subscribers	Apr 20	May 20	June 20	July 20	Aug 20	Sep 20
Invested in Mackay Subscribers	543	550	560	563	564	570
Mackay Region Joblink Analytic Report	705 users	729 users	856 users	925 users	940 users	946 users
	2,762 views	4,350 views	7,617 views	8,339 views	4,206 views	3,964 views
Sarina Field of Dreams Usage Wi-Fi	6 users	23 users	21 users	NA	28 users	45 users
	61 sessions	194 sessions	154 sessions	NA	137 sessions	354 sessions
Hooked on Mackay Facebook	3,354	3,384	3,450	3,548	3,572	3,642
Net Free Zone Voluntary Code	583	583	583	583	583	583
Mackay Region Event Organisers Connect Facebook Group	-	55 members	63 members	70 members	78 members	80 members

UPCOMING EVENTS

Date	Event	Location
30 October – 1 November 2002	2020 North Australia Surf Lifesaving Championships – <i>Invest Mackay Funded</i>	Mackay Harbour
12 - 13 December 2020	F5WC Regional Qualifier tournaments – <i>Invest Mackay Funded</i>	Mackay Basketball / Multi-Sports Stadium
12 November – 20 December 2020	2020 Chemist Warehouse Women’s national Basketball League Season – <i>Invest Mackay Funded</i>	Mackay Basketball / Multi-Sports Stadium